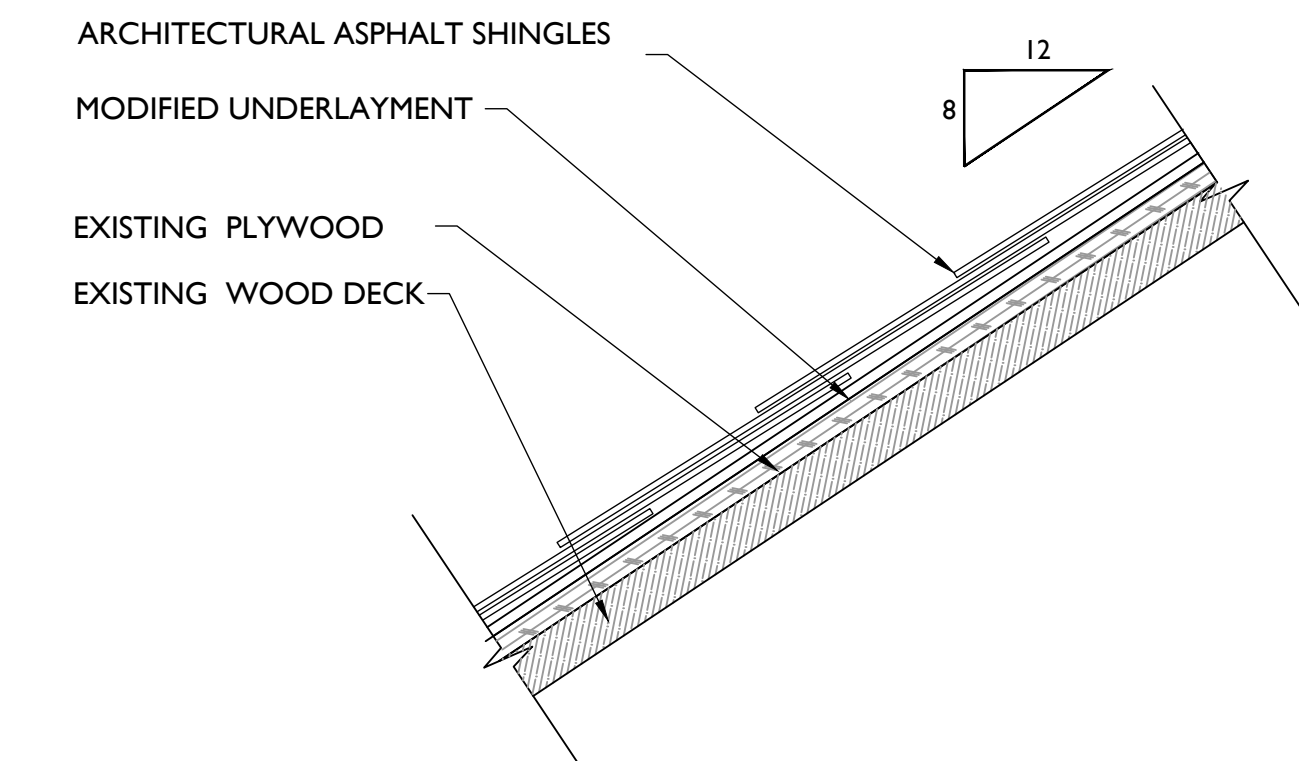


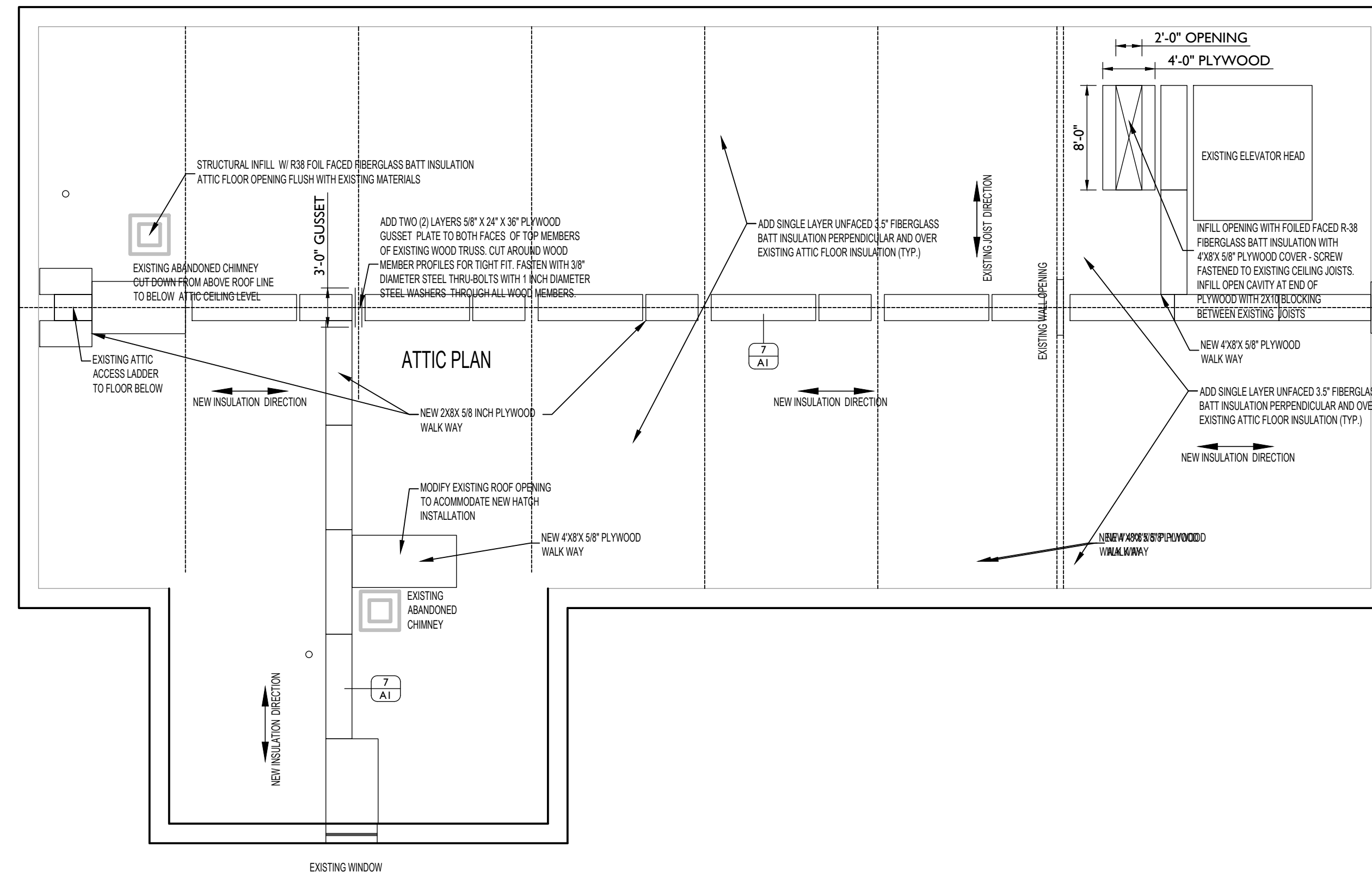
EXISTING ROOFING COMPOSITION

SCALE: 3" = 1'0"



NEW ROOFING COMPOSITION

SCALE: 3" = 1'0"



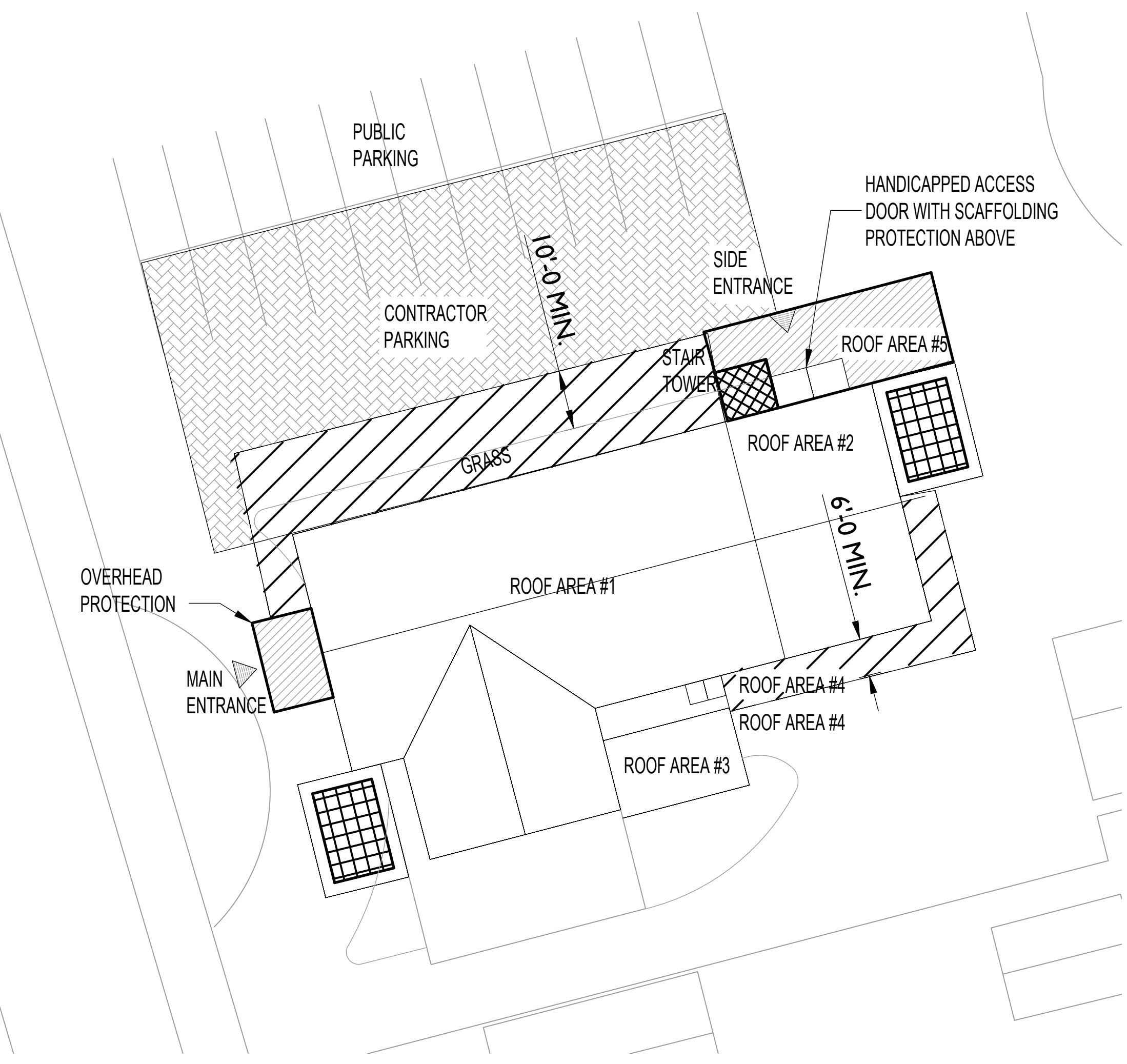
ATTIC PLAN

SCALE: 1/8" = 1'0"

GENERAL NOTES

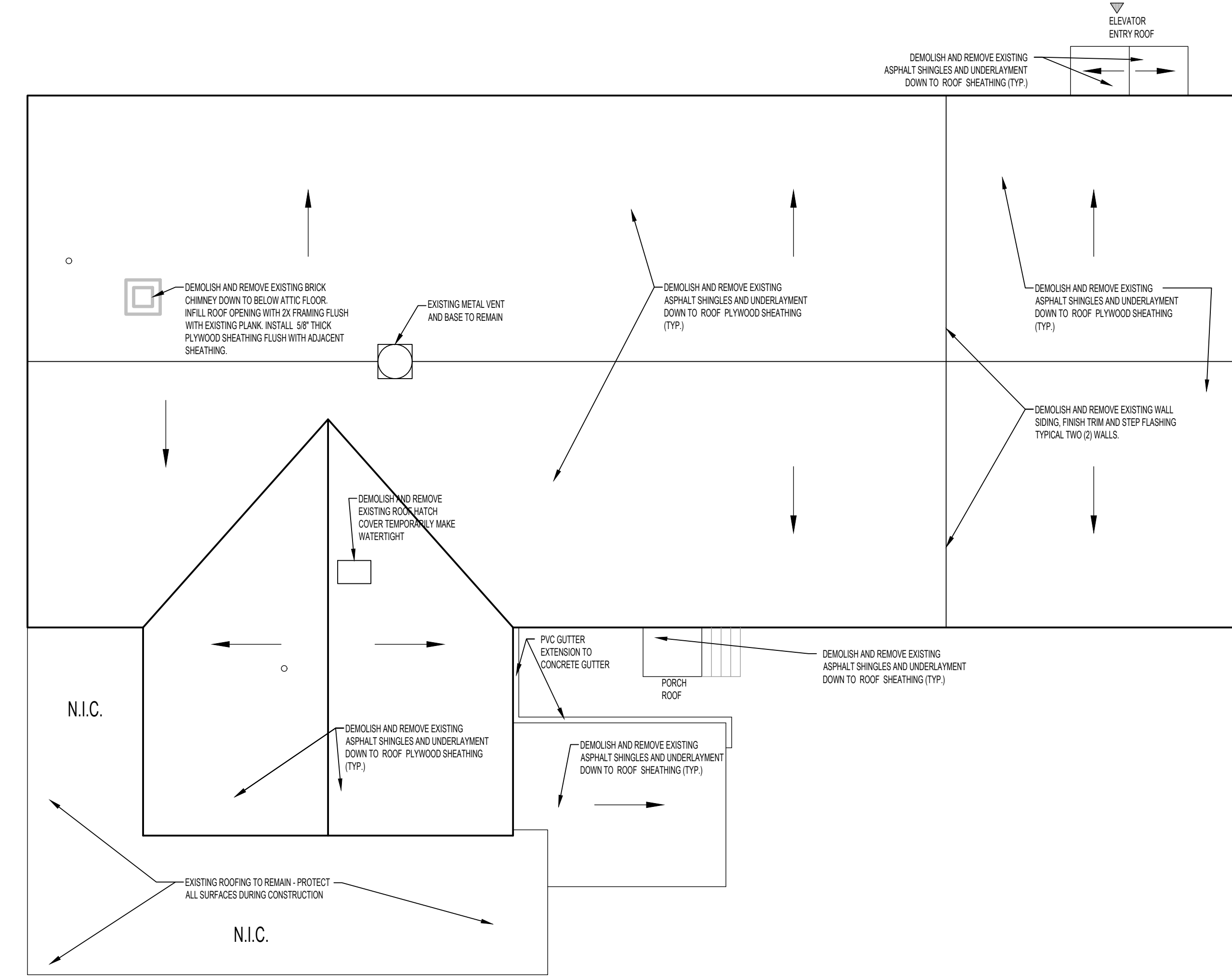
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, MEASUREMENTS, DIMENSIONS, PENETRATIONS AND RELATED WORK ITEMS. NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES IN DOCUMENTS ARE FOUND.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES, PAY ALL FEES, AND COMPLY WITH ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION RELATING TO THE BUILDING OR PRESERVATION OF PUBLIC HEALTH AND SAFETY.
- ALL WORK TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION AND OTHER PERTINENT LOCAL BUILDING REGULATIONS, CODES, MANUFACTURER'S REQUIREMENTS, AND INDUSTRY STANDARDS.
- CONTRACTOR TO LEGALLY DISPOSE OF ALL MATERIALS OFF-SITE AND IN ACCORDANCE WITH LOCAL REGULATIONS. USE OF ON-SITE OWNER DUMPSTERS SHALL BE PROHIBITED. LOCATION OF THE CONTRACTOR'S DUMPSTER SHALL BE COORDINATED WITH THE OWNER.
- ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND DRAWINGS. THE WRITTEN REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER SHALL ALSO BE ADHERED TO.
- ACCESS TO THE INTERIOR OF THE BUILDINGS SHALL NOT BE ALLOWED WITHOUT PROPER NOTIFICATION TO THE OWNER.
- CONTRACTOR'S SET-UP AND DISPOSAL AREAS SHALL NOT BLOCK FIRE LANES NOR INHIBIT ACCESS INTO OR OUT OF THE BUILDINGS. OVERHEAD PROTECTION SHALL BE PROVIDED AT ALL DOORWAYS LOCATED BELOW ACTIVE WORK AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE IN A CLEAN AND UNOBSTRUCTED MANNER AT THE END OF EACH DAY.
- AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE TO THE OWNER ALL REQUIRED PROJECT CLOSE-OUT PAPERWORK INCLUDING THE SPECIFIED CONTRACTOR'S GUARANTEE AND ROOFING SYSTEM MANUFACTURER'S FULL SYSTEM WARRANTY.
- CONTRACTOR SHALL REPLACE ALL REMOVED EXISTING ROOFING WITH NEW ROOFING ON A DAILY BASIS. TEMPORARY OR PHASED ROOFING IS NOT ALLOWED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF A DAILY "THE-IN" BETWEEN EXISTING AND NEW ROOF AREAS SO AS TO MAINTAIN COMPLETE WATER/TIGHTNESS AND WEATHER/TIGHTNESS. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES TO PREVENT EXPOSURE OF THE BUILDING TO INCLEMENT WEATHER AND LEAKS AT ALL TIMES.
- THE INFORMATION SHOWN ON THESE DRAWINGS HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL ACCESS TO THE ROOF FROM THE EXTERIOR OF THE BUILDING.
- UNLESS OTHERWISE NOTED, ANY CONDITION FOUND NOT DETAILED SHALL BE CONSTRUCTED IN A MANNER SIMILAR TO THAT OF THE TYPICAL DETAILS.
- CONTRACTOR SHALL ERECT OVERHEAD SCAFFOLDING AT APPROVED SET UP LOCATIONS AS SHOWN ON THE SITE STAGING PLAN. SCAFFOLD STAIR TOWERS SHALL BE ERECTED SO AS NOT TO INTERFERE WITH THE OWNER'S OPERATIONS. THE HANDICAPPED ACCESS RAMP MUST REMAIN OPEN AT ALL TIMES. STAIR TOWERS SHALL HAVE LOCKED GATES. LOCKS SHALL BE PROVIDED BY THE G.C. TO THE TOWN OF WEST BRIDGEWATER. OVERHEAD PROTECTION, SIGNAGE, AND LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES TO THE BUILDING. ALL STAGING SHALL BE DESIGNED AND INSPECTED BY P.E. ENGINEER, PRIOR TO BEING USED. THE SCAFFOLDING MUST BE BUILT AND TAGGED BY A COMPETENT PERSON.
- A 6'-0" HIGH CHAIN LINK FENCE IS TO BE SET UP AT LOCATIONS SHOWN ON THE SITE STAGING PLAN. CONTRACTOR SETUP LOCATIONS WILL BE WITHIN THE CHAIN LINK FENCE. GATES FOR ACCESS TO DUMPSTER SET UP LOCATIONS MUST BE LOCKED AT ALL TIMES. LOCKS WILL BE PROVIDED BY THE G.C. TO THE TOWN OF WEST BRIDGEWATER.

LEGEND		DETAIL
SYMBOL	DESCRIPTION	DETAIL REF.
○	VENT THROUGH ROOF	2/A-2
□	VENT CAP (EXISTING)	
→	ROOF SLOPE DIRECTION DOWN	
—	GUTTER WITH DOWNSPOUT	
HP	ROOF SURFACE HIGH POINT	
LP	ROOF SURFACE LOW POINT	



SITE STAGING PLAN

NO SCALE

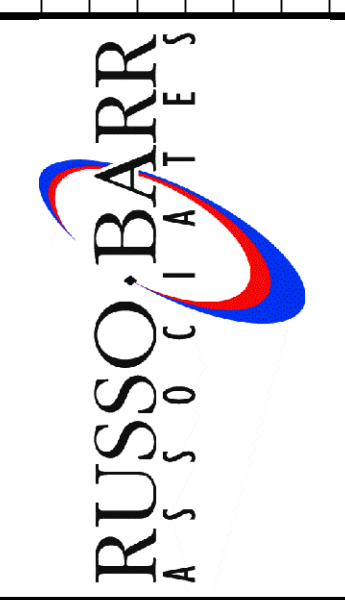


ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'0"

- = G.C. PARKING
- = ENTRANCE
- = DUMPSTER SET UP
- = STAIR TOWER WITH LOCKED GATE
- = APPROVED SCAFFOLDING, AND STORAGE AREA, SET UP, OVERHEAD PEDESTRIAN PROTECTION
- = 6'-0" HIGH CHAIN LINK FENCE 10' MAX FROM NORTH AND SOUTH SIDEWALK CURB
- = APPROVED OVERHEAD PEDESTRIAN PROTECTION

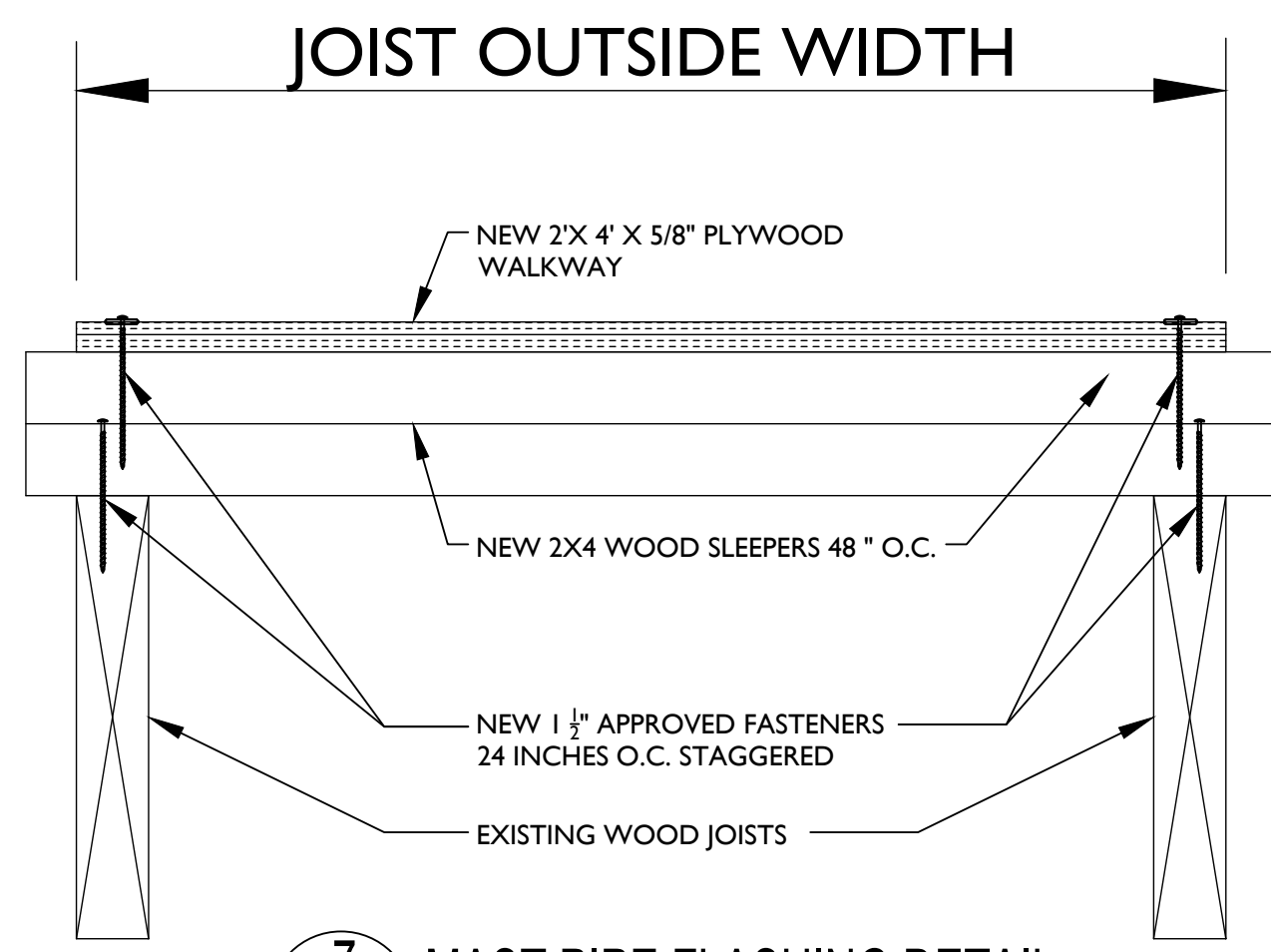
ALTERNATE # 1 - DEMOLISH AND REMOVE EXISTING CHIMNEY BRICK DOWN TO BELOW FIRST FLOOR STRUCTURE.
ALTERNATE # 2 - PROVIDE ATTIC ACCESS PLATFORM.



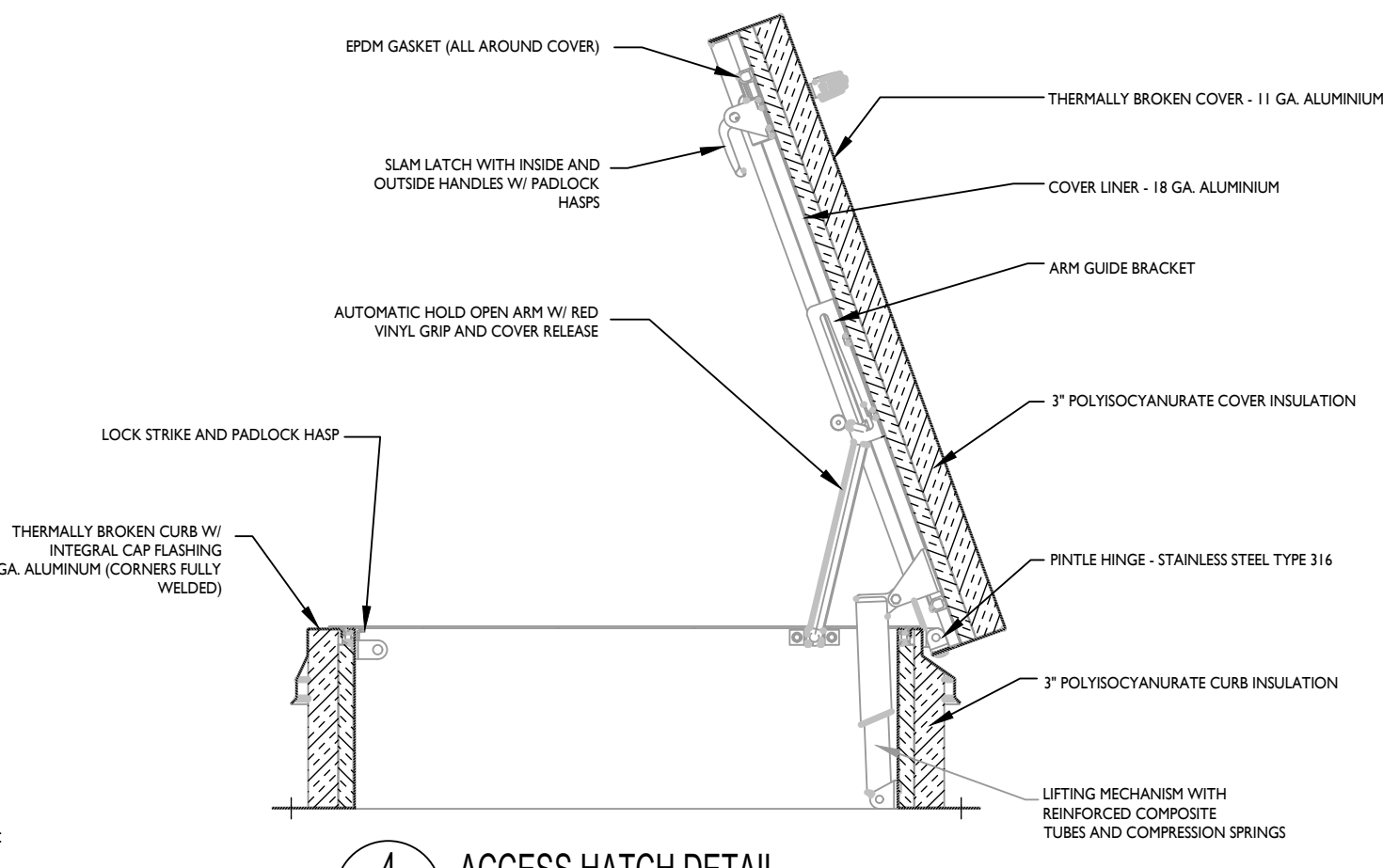
ROOF REPAIR PROJECT
WEST BRIDGEWATER TOWN HALL
65 NORTH MAIN STREET
WEST BRIDGEWATER, MASSACHUSETTS
DEMO PLAN, ROOF COMPOSITIONS AND GENERAL NOTES

DATE	06.30.2017
SCALE	AS NOTED
DRAWN BY / CHECKED BY	AW / RG
PROJECT NO	2017026
DRAWING NO	T2

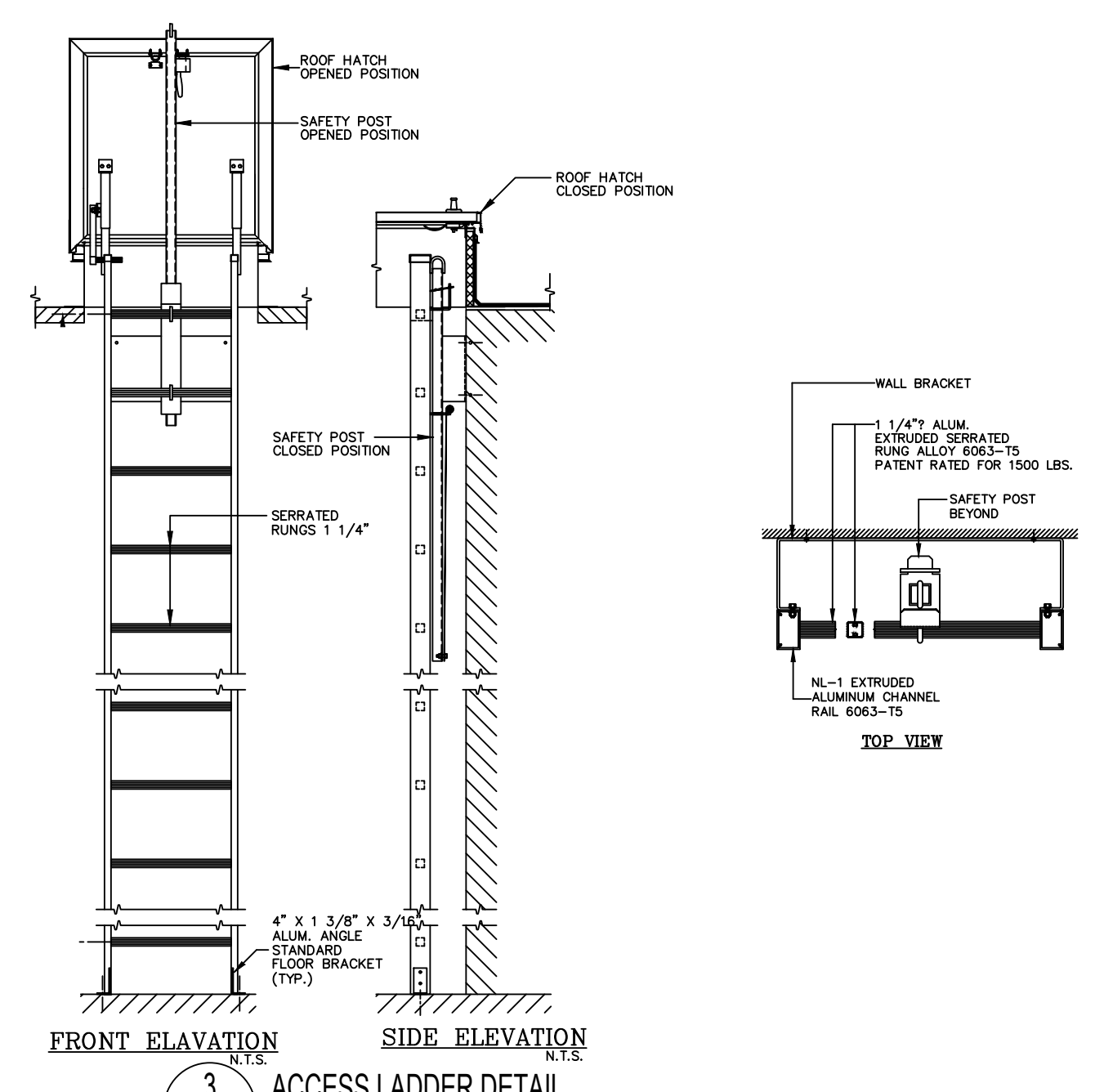
T2



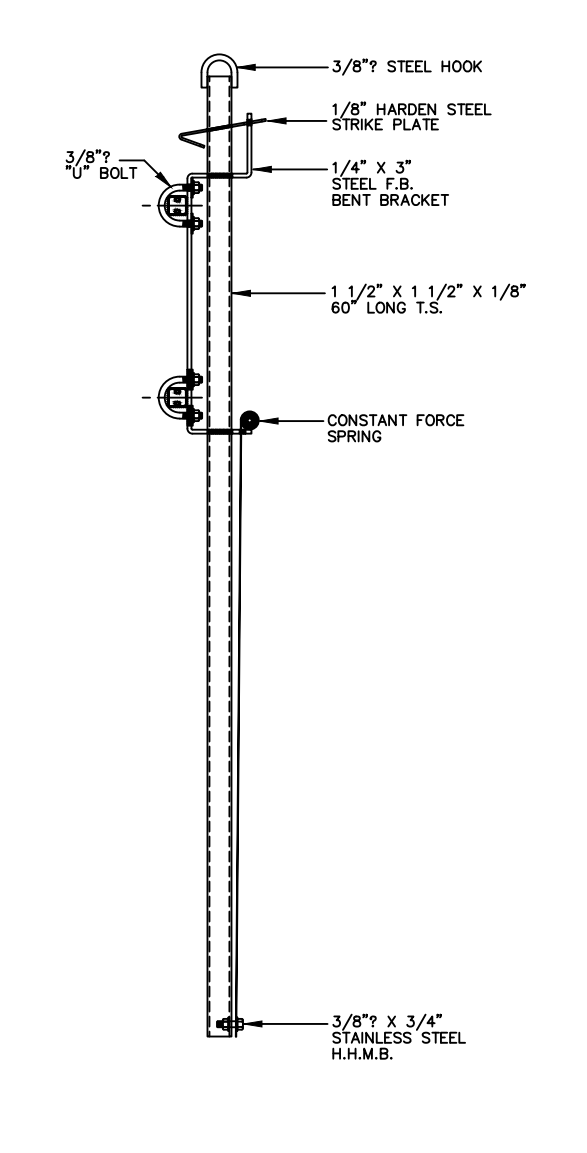
7 MAST PIPE FLASHING DETAIL
SCALE: 3" = 1'-0"



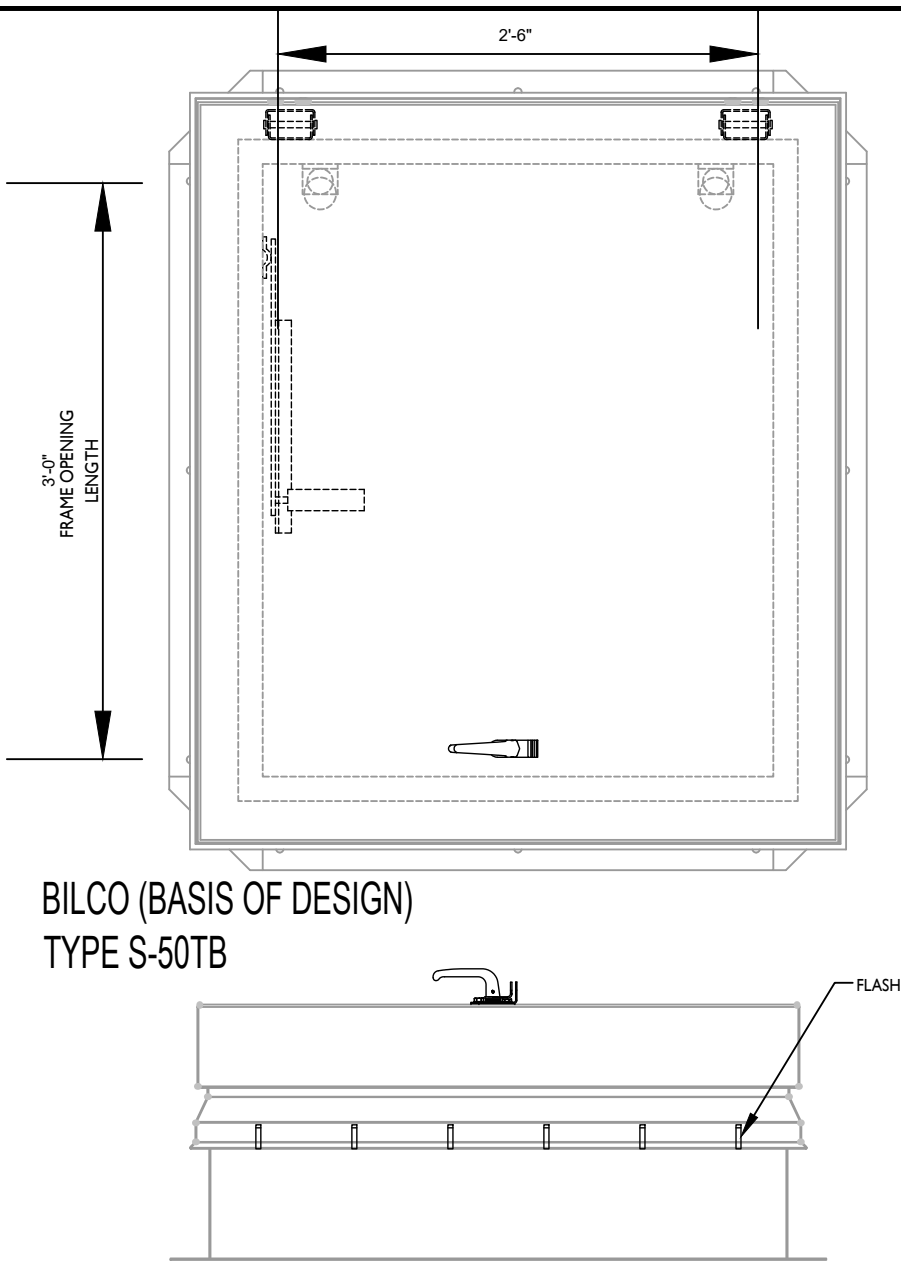
4 ACCESS HATCH DETAIL
NOT TO SCALE



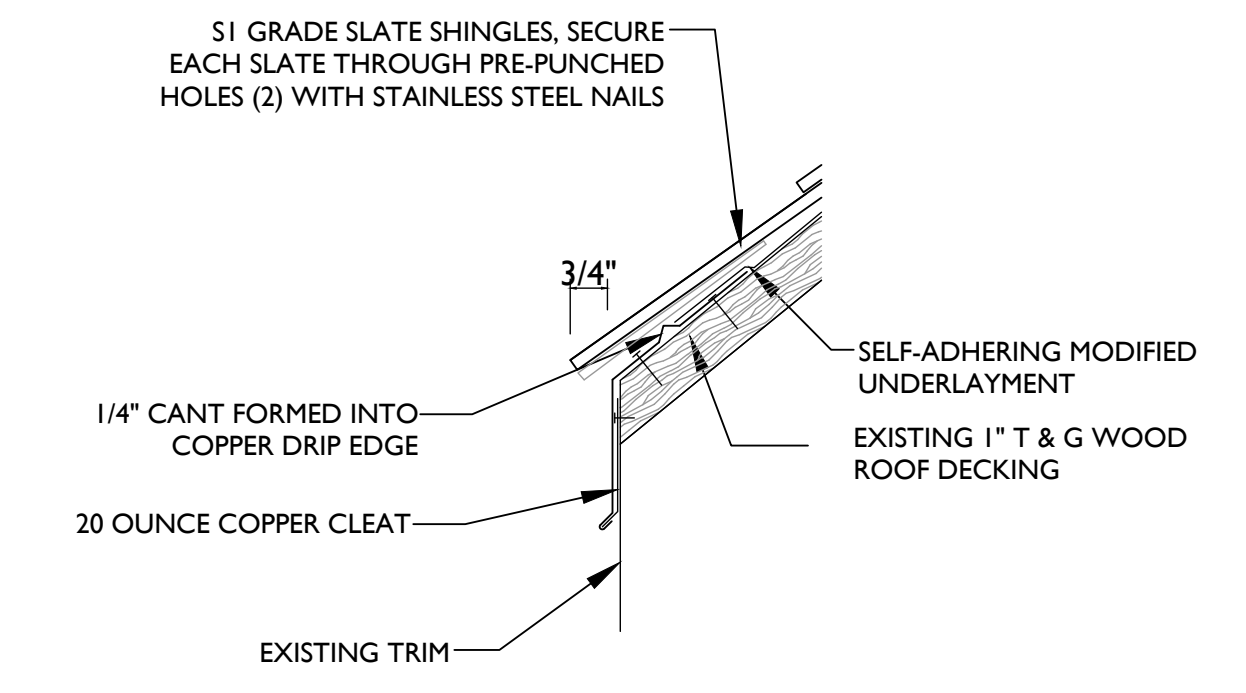
3 ACCESS LADDER DETAIL
NOT TO SCALE



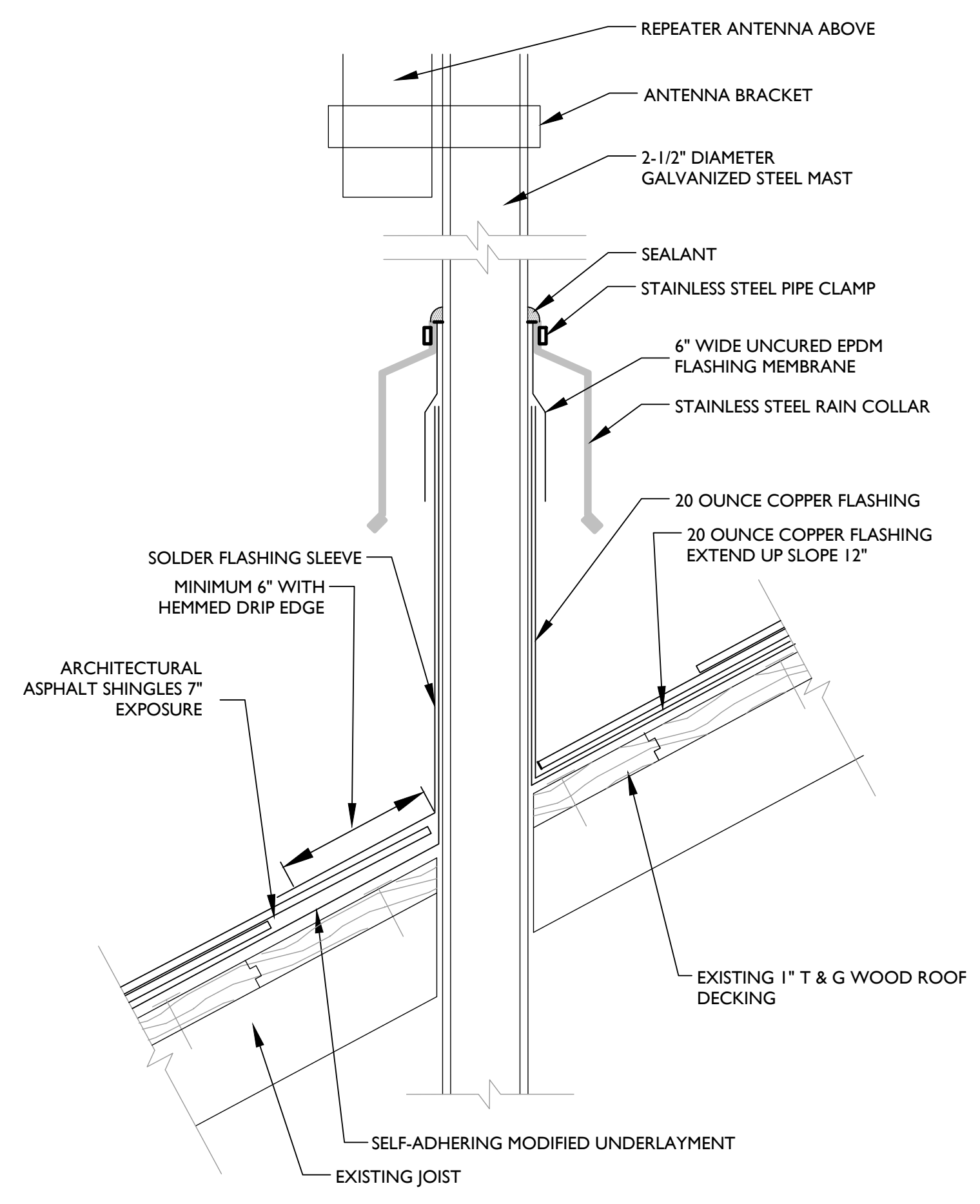
2 SAFETY POST
NOT TO SCALE



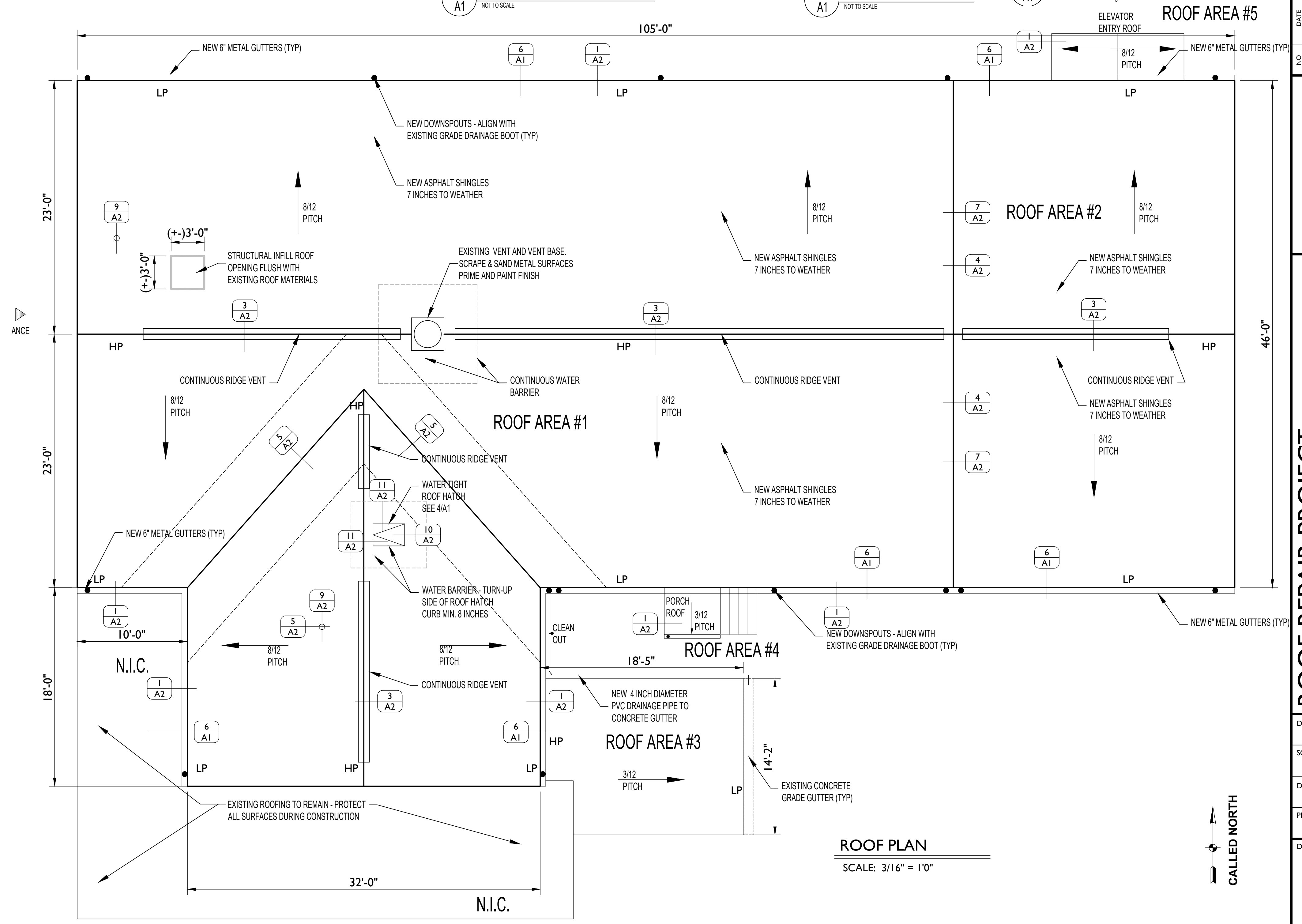
1 ACCESS HATCH DETAIL
NOT TO SCALE



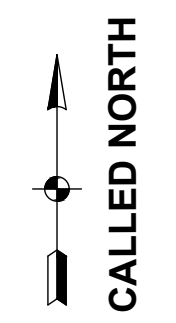
6 EAVE DETAIL
SCALE: 3" = 1'-0"



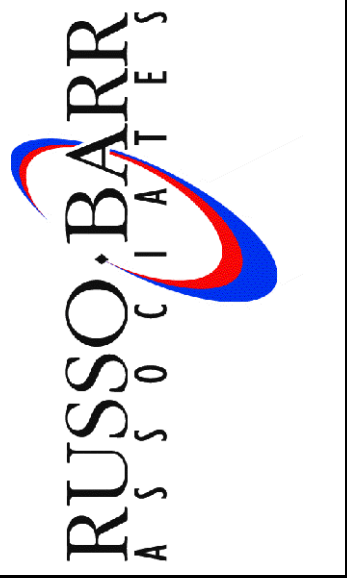
5 MAST PIPE FLASHING DETAIL
SCALE: 3" = 1'-0"



ROOF PLAN
SCALE: 3/16" = 1'-0"



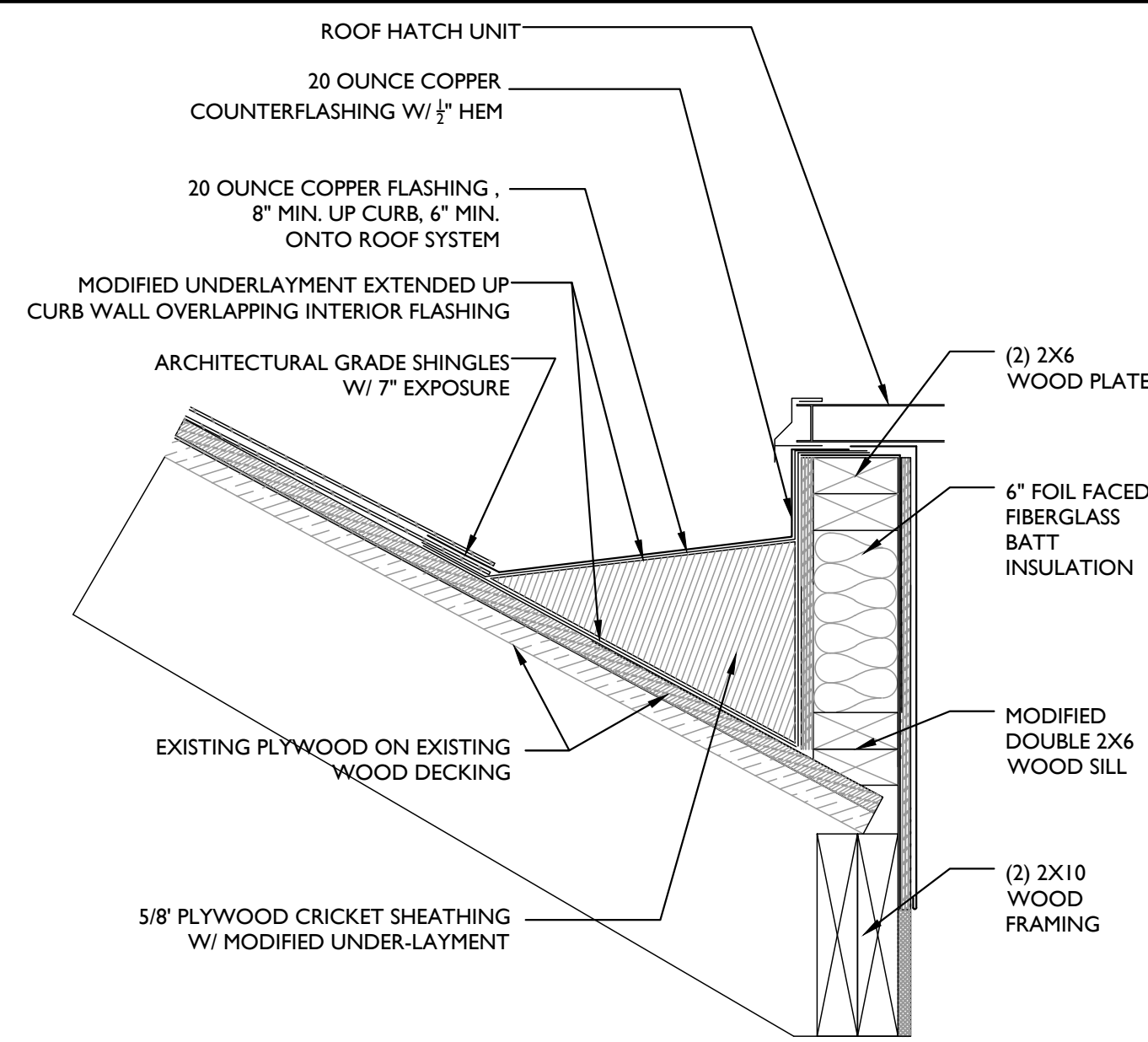
NO.	DESCRIPTION	DATE	BY



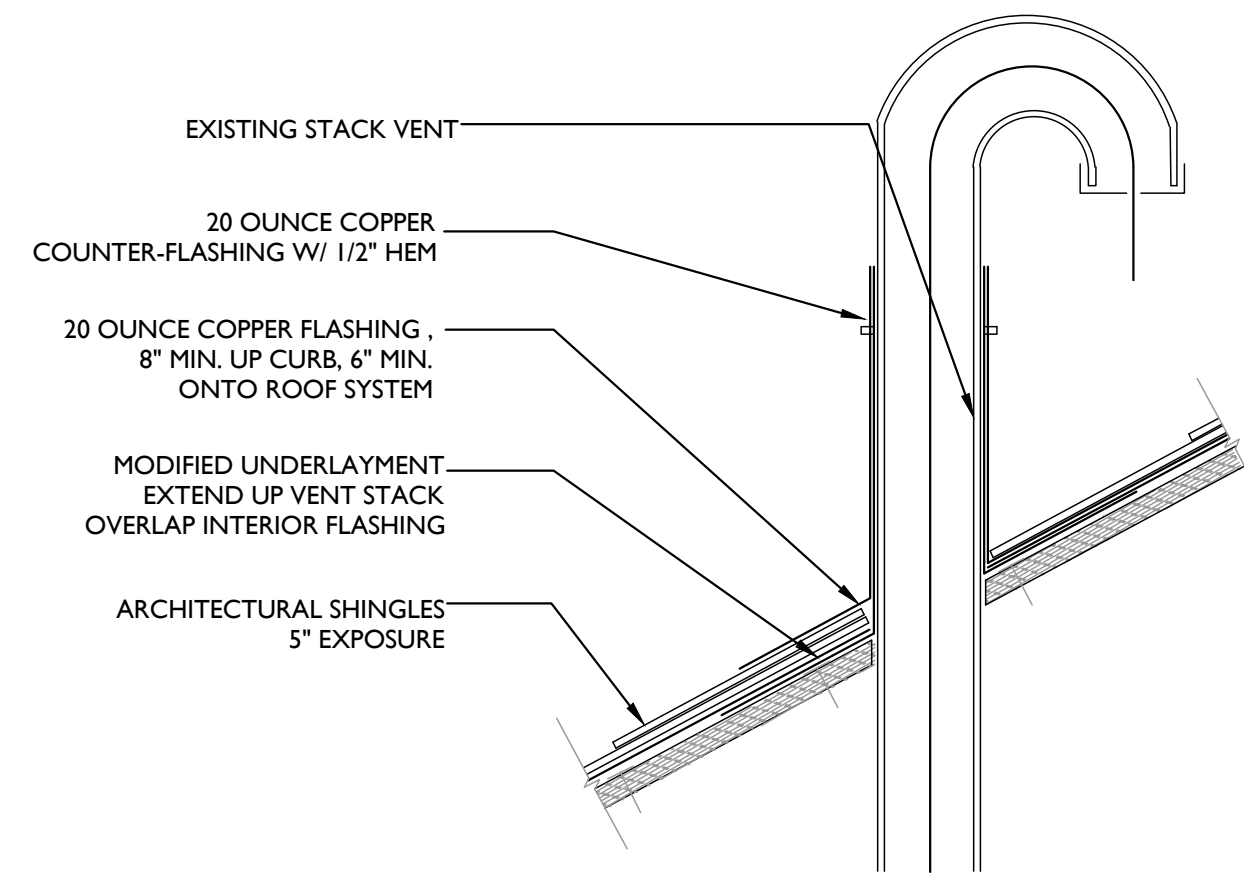
ROOF REPAIR PROJECT
WEST BRIDGEWATER TOWN HALL
65 NORTH MAIN STREET
WEST BRIDGEWATER, MASSACHUSETTS
ROOF AREA PLAN

DATE	06.30.2017
SCALE	AS NOTED
DRAWN BY / CHECKED BY	AW / RG
PROJECT NO	2017026
DRAWING NO	

A1

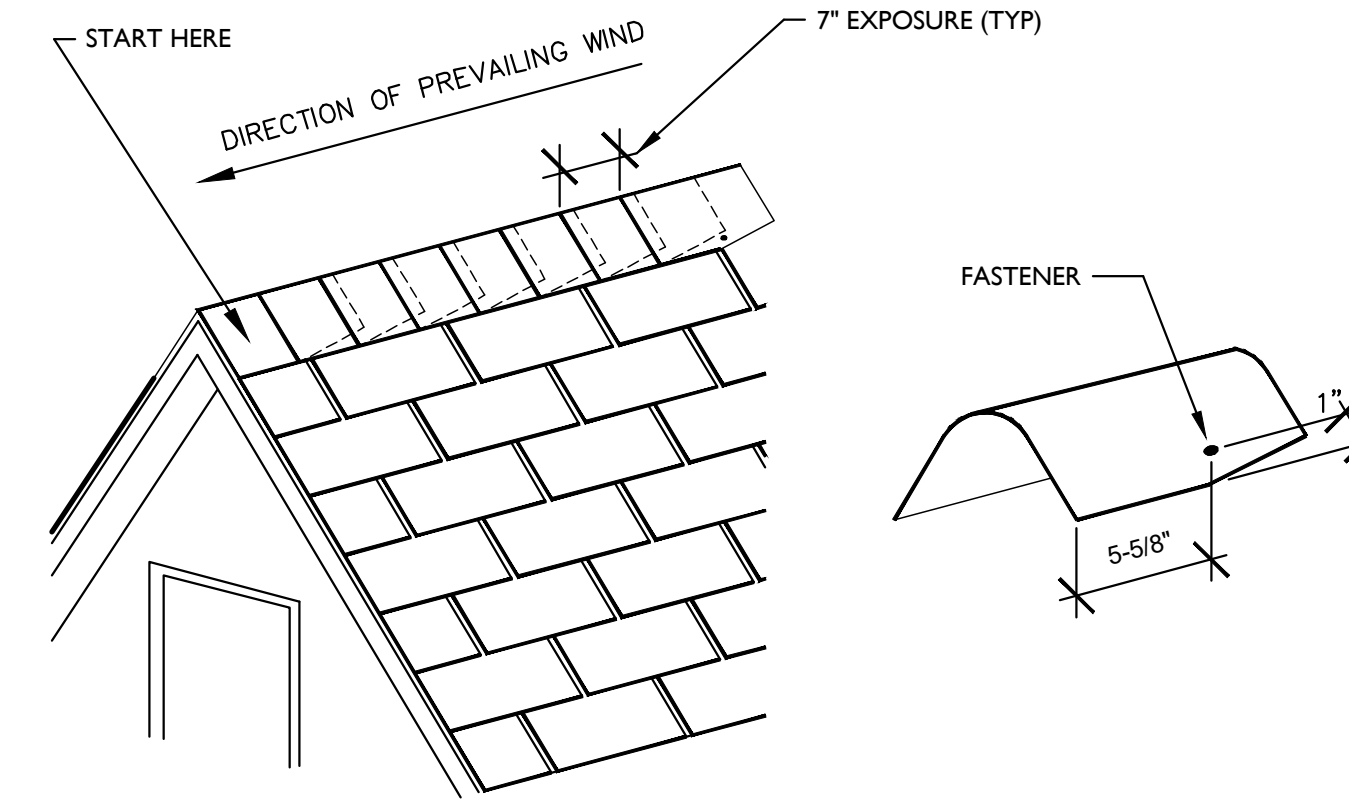


12 ACCESS HATCH HEAD DETAIL
SCALE: NOT TO SCALE

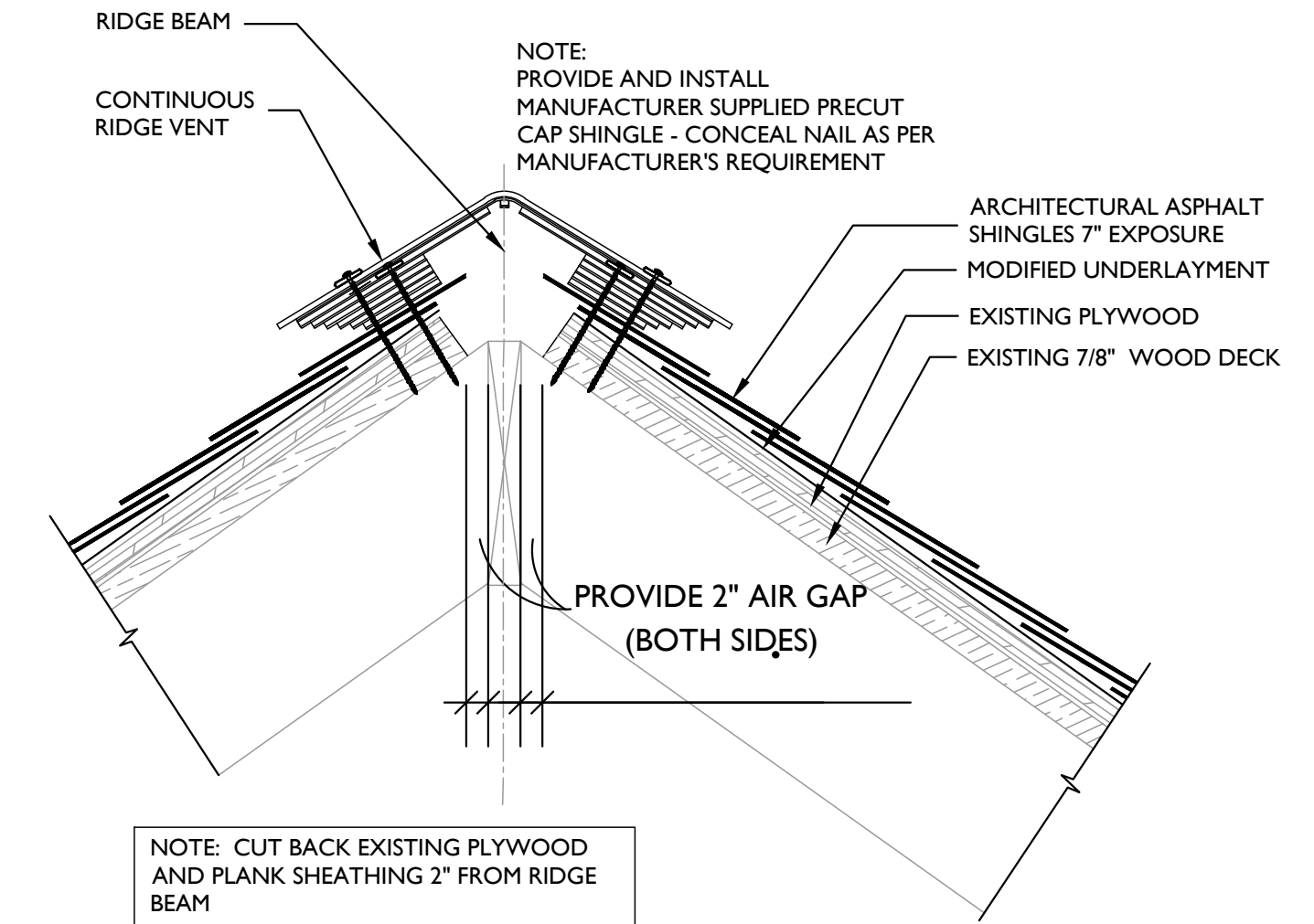


NOTE: G.C. SHALL DISCONNECT EXISTING ANTENNA FROM STACK VENT. INSTALL NEW PRE-FLASHED PLUMBING VENT FLASHING AND REINSTALL ANTENNA

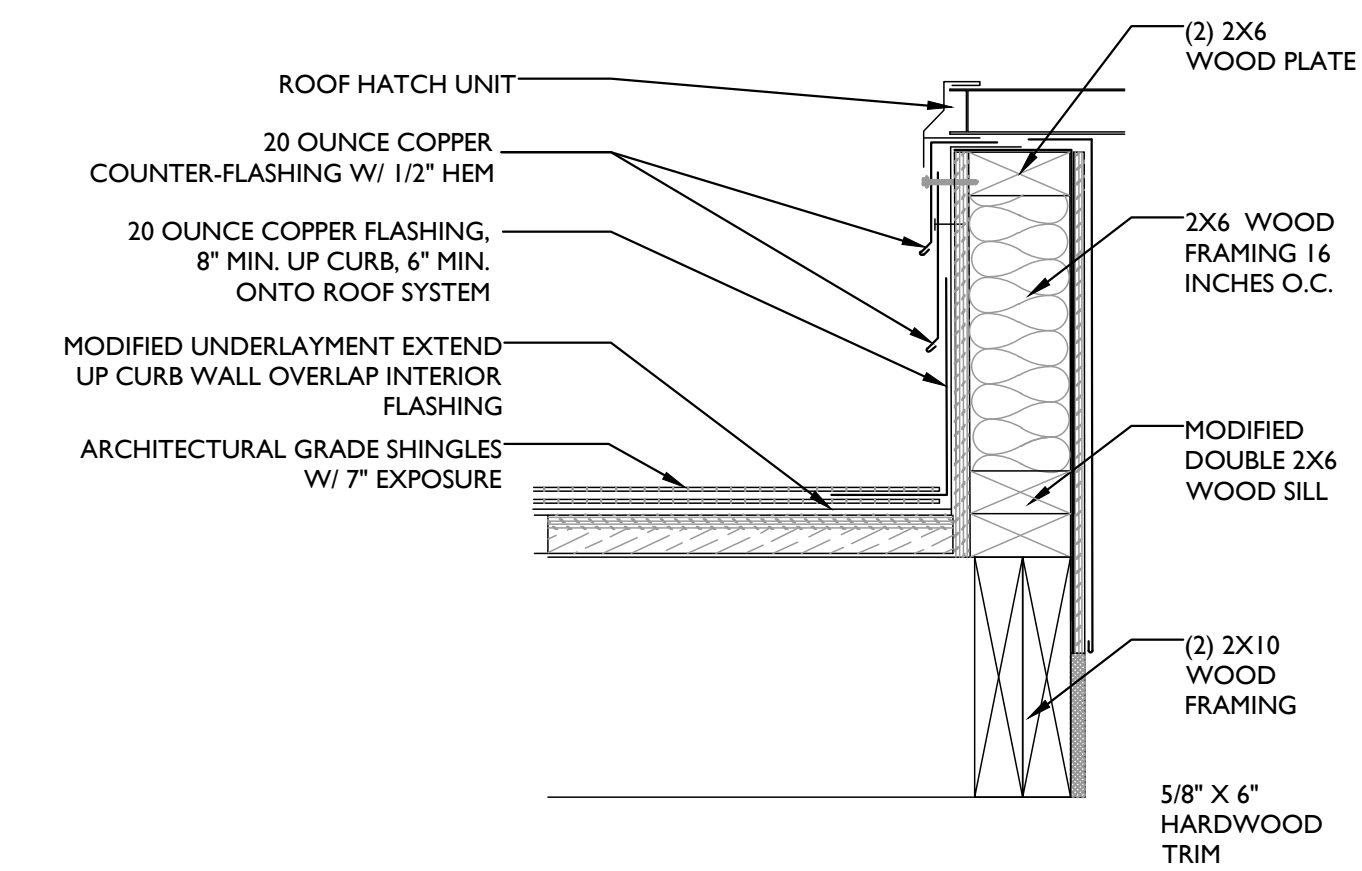
9 ANTENNA COLLAR DETAIL
SCALE: NOT TO SCALE



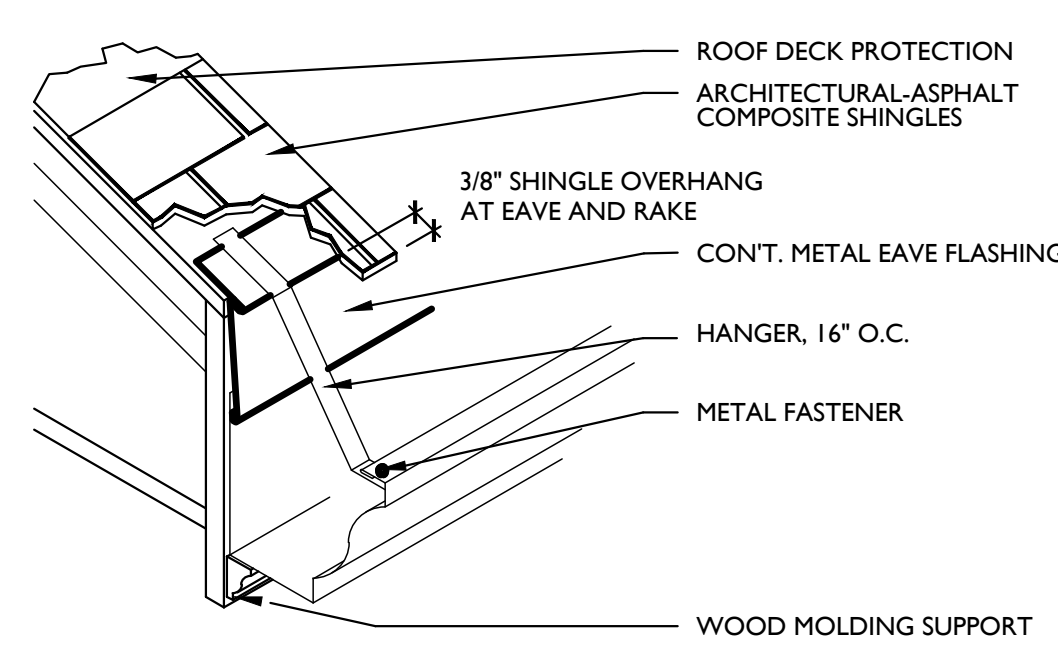
6 RIDGE VENT CONCEALING CAP DETAIL
SCALE: NOT TO SCALE



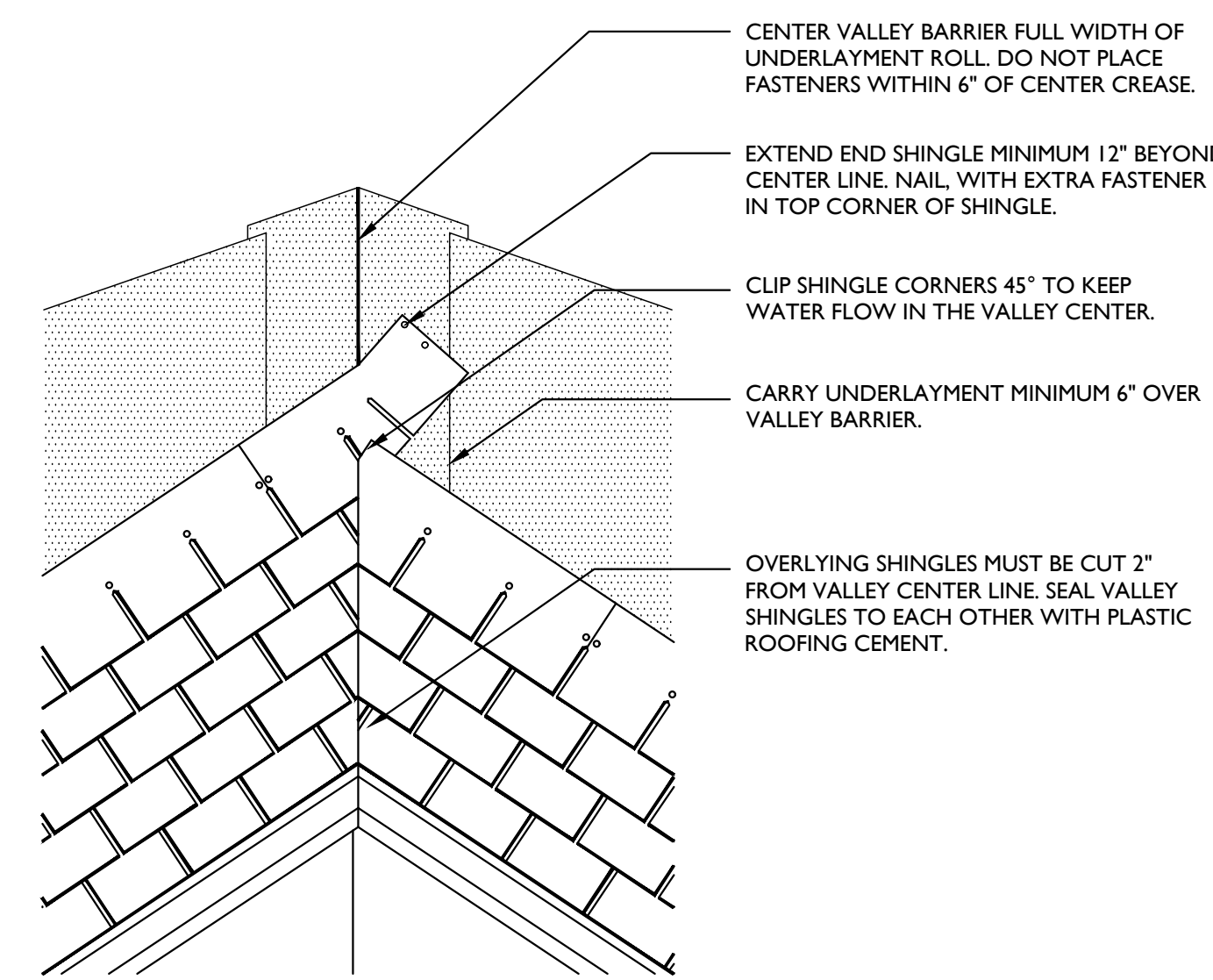
3 RIDGE VENT DETAIL
SCALE: NOT TO SCALE



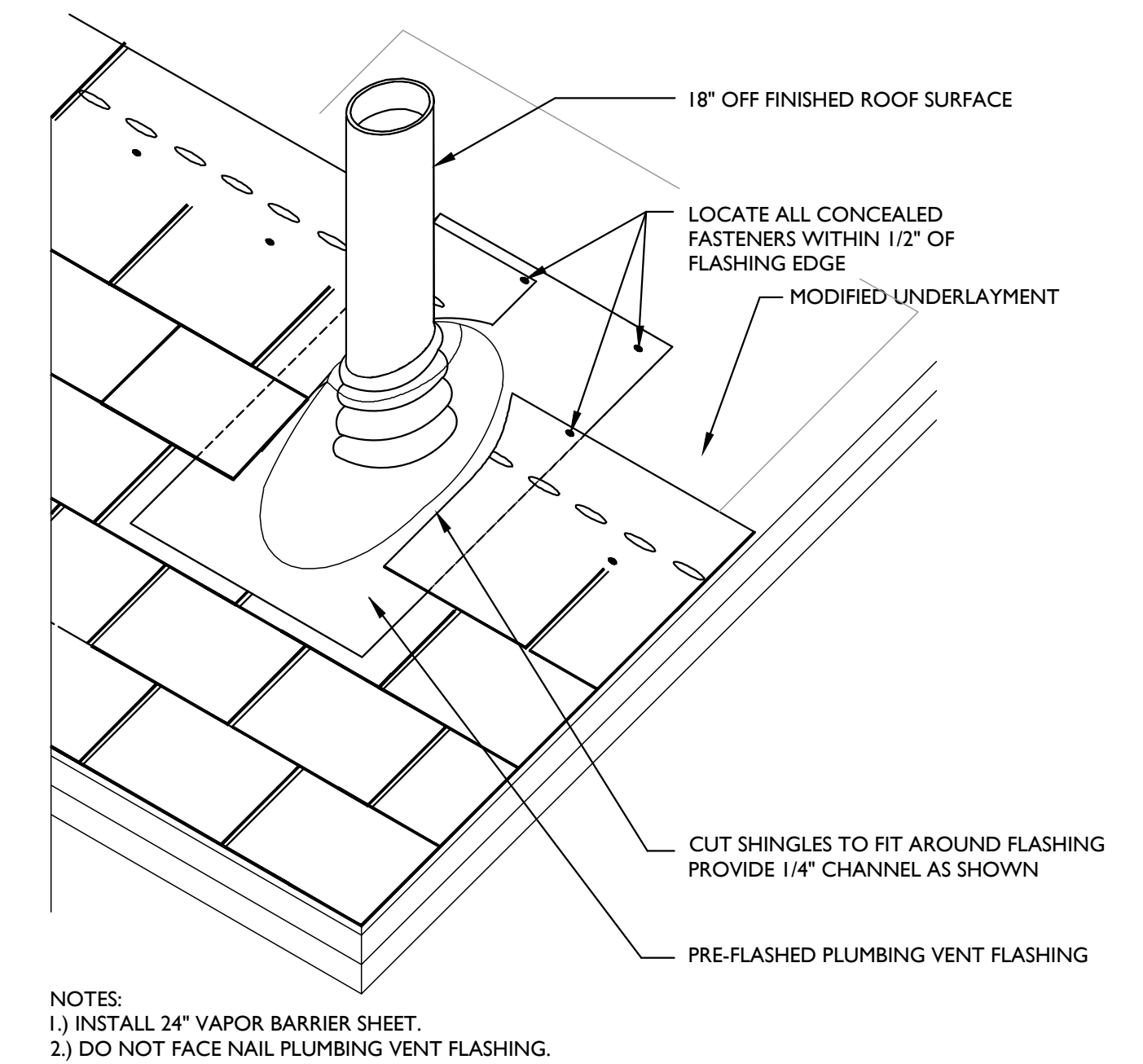
11 ACCESS HATCH JAMB DETAIL
SCALE: NOT TO SCALE



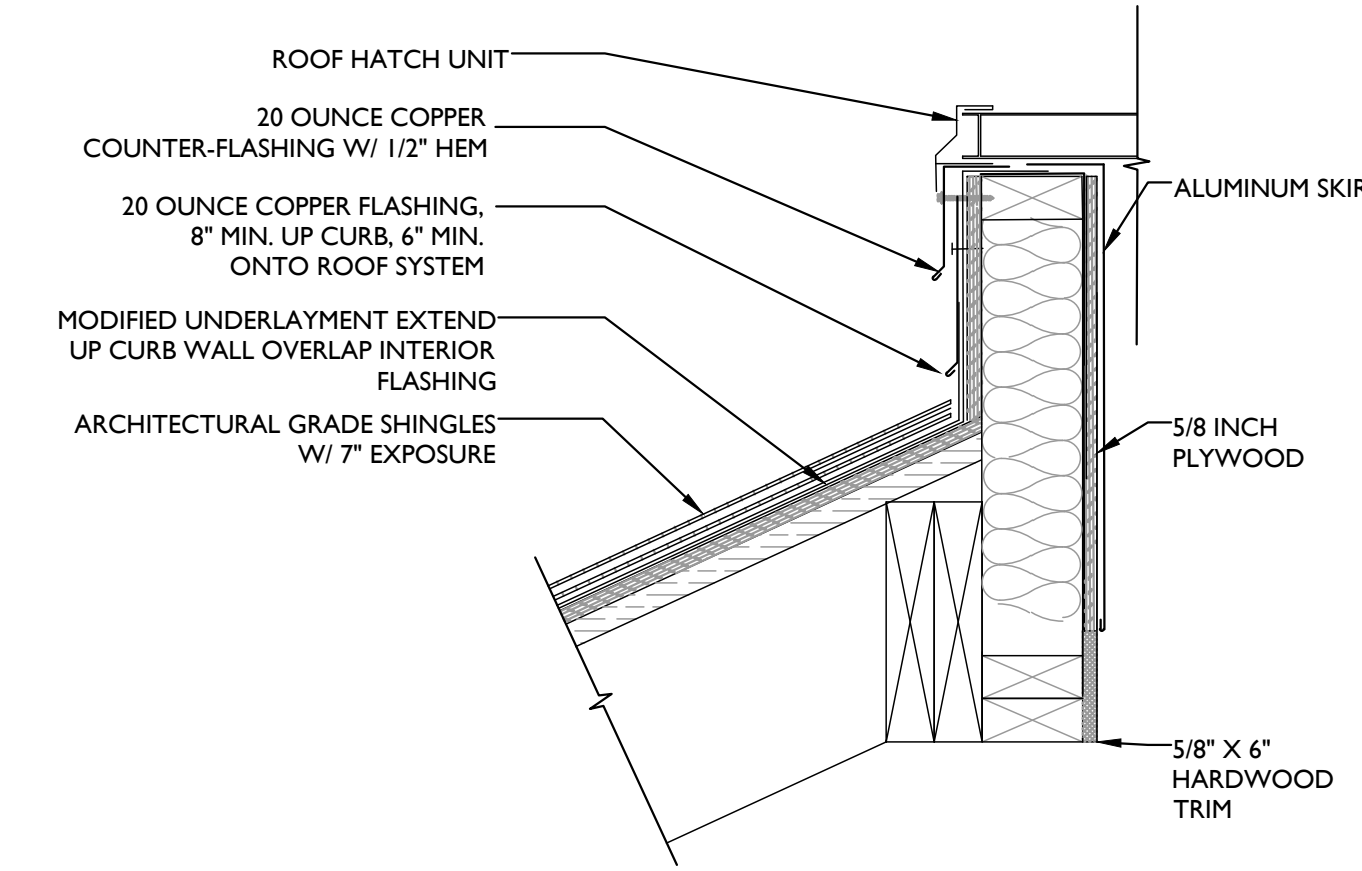
8 GUTTER DETAIL
SCALE: NOT TO SCALE



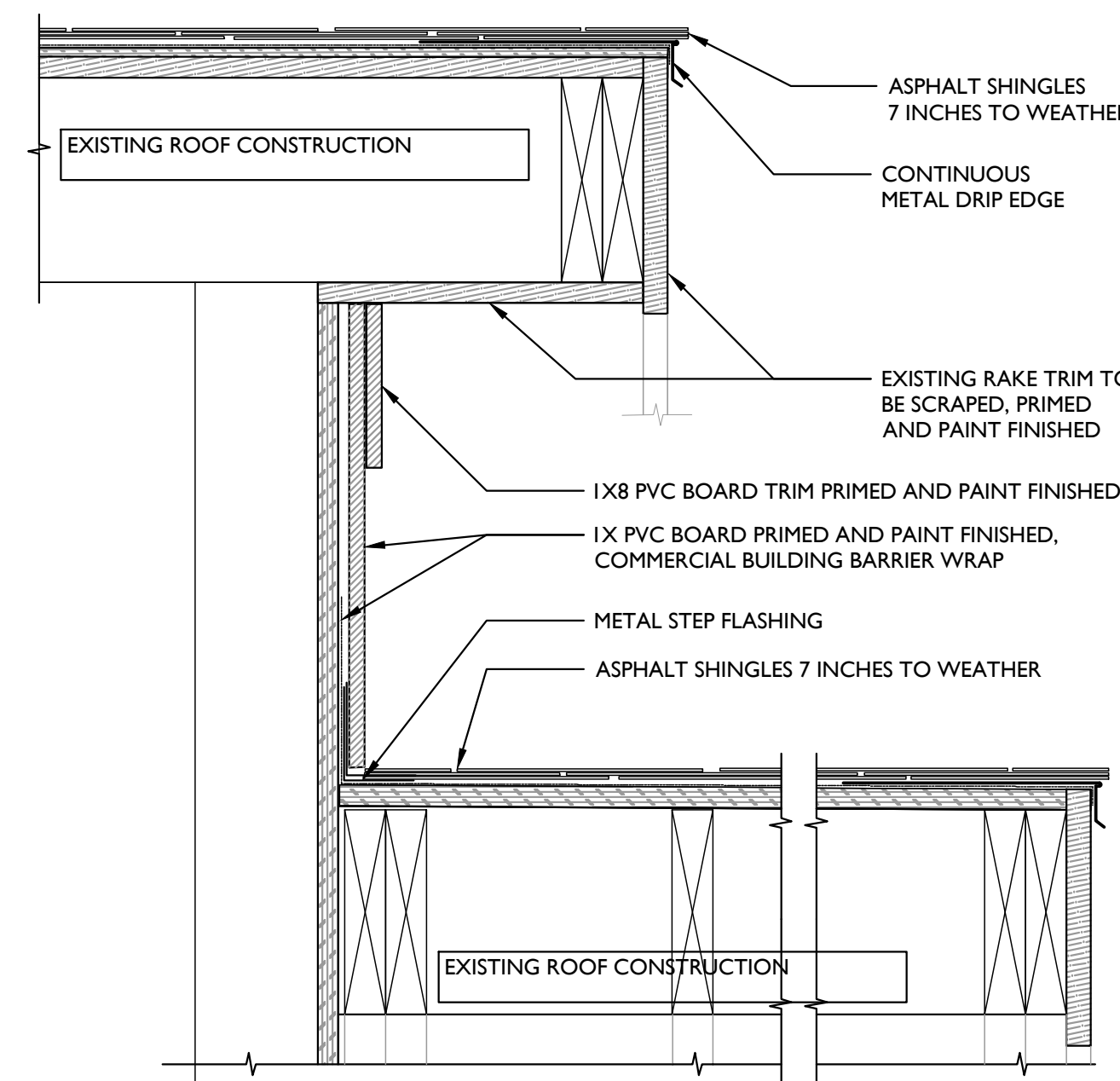
5 VALLEY SHINGLE WEAVE DETAIL
SCALE: NOT TO SCALE



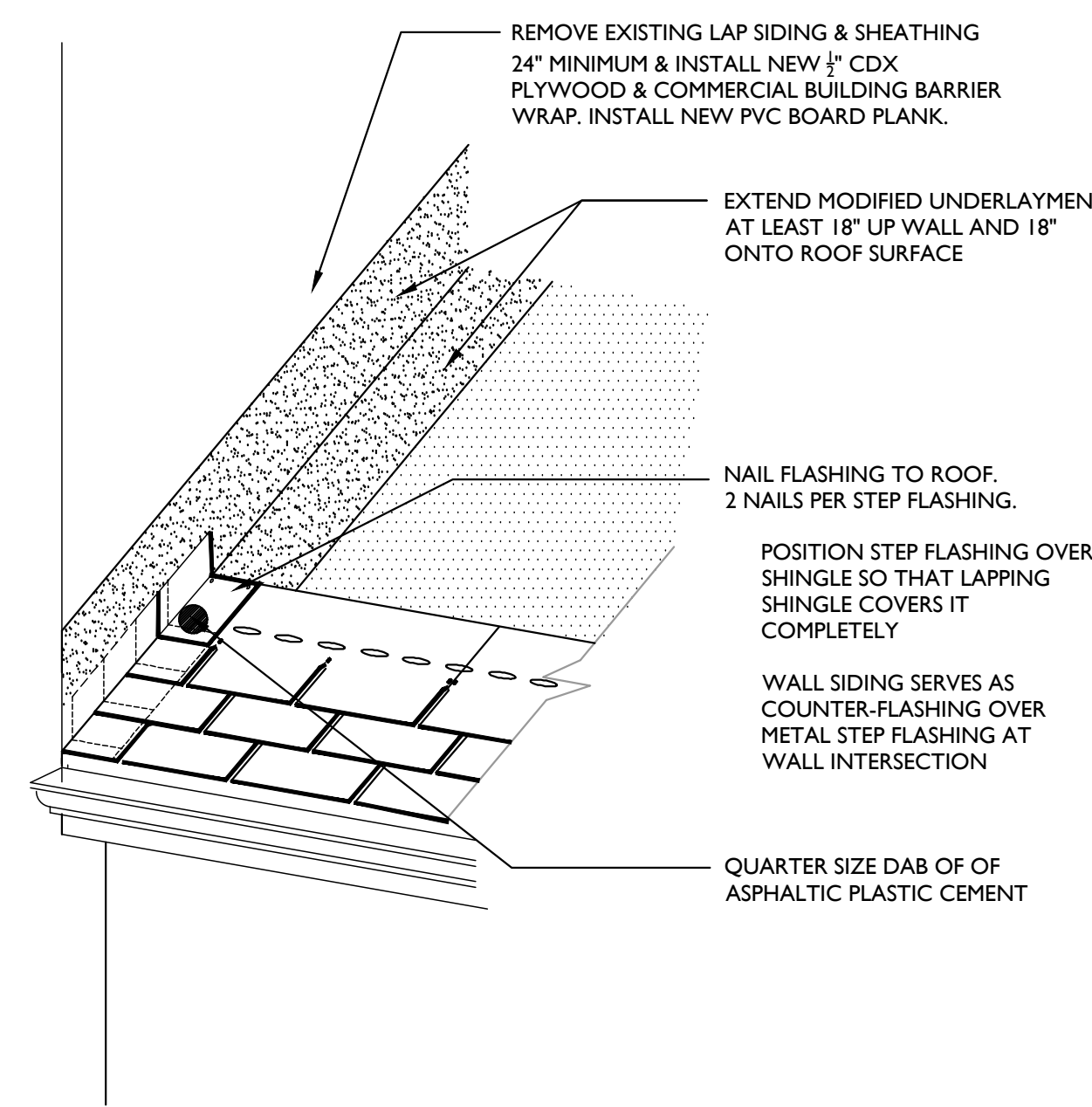
2 VENT PIPE SHINGLE DETAIL
SCALE: NOT TO SCALE



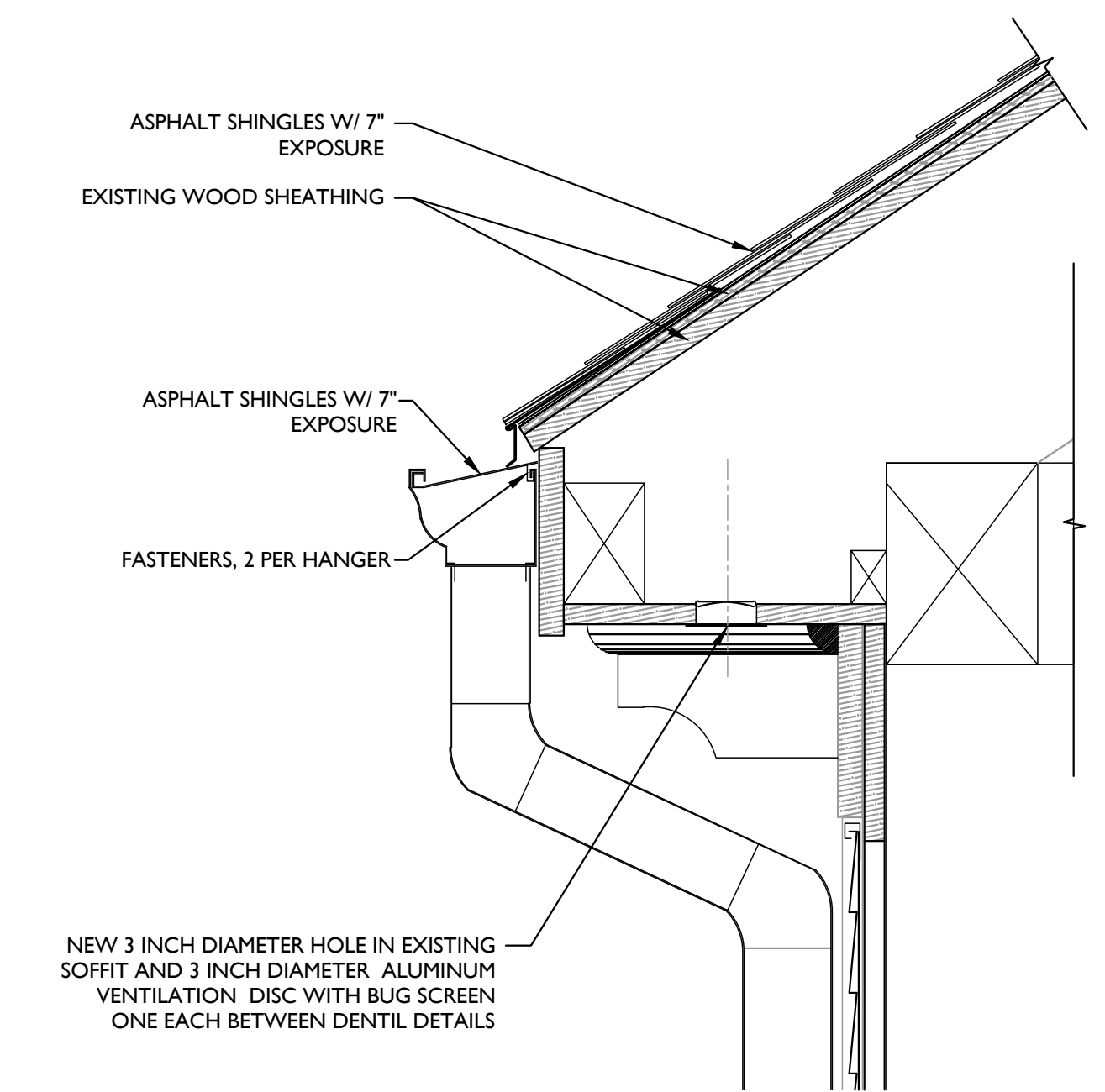
10 ACCESS HATCH SILL DETAIL
SCALE: NOT TO SCALE



7 INTERSECTION WALL AND ROOF DETAIL
SCALE: NOT TO SCALE

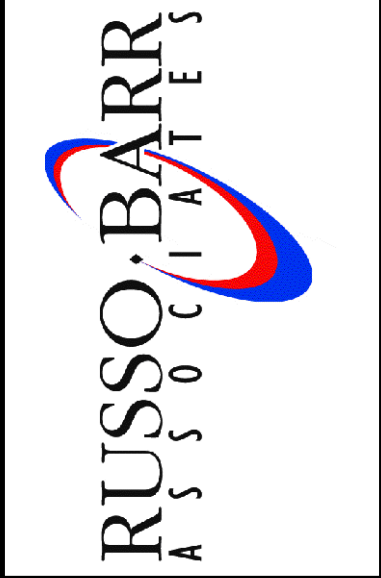


4 STEP FLASHING AT VERTICAL SIDE WALL
SCALE: NOT TO SCALE



1 SOFFIT VENT DETAIL
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE



ROOF REPAIR PROJECT
WEST BRIDGEWATER TOWN HALL
65 NORTH MAIN STREET
WEST BRIDGEWATER, MASSACHUSETTS

DATE: 06.30.2017
SCALE: AS NOTED
DRAWN BY / CHECKED BY: AW / RG
PROJECT NO: 2017026
DRAWING NO:

A2